



ARCHANGEL MICHAEL GREEK ORTHODOX CHURCH

Archangel Michael Greek Orthodox Church Master Plan

4925 List Drive, Colorado Springs, CO 80919

Updated May 21, 2026



Future Archangel Michael Greek Orthodox Church

Prepared by the AMGOC Building Committee

Peter Kaloroumakis (Chair) • Leslie Neumann • Paul Olson • Jeff Rodgers

in consultation with Fr. Dennis Schutte, Parish Priest



METROPOLIS
OF DENVER

ARCHANGEL MICHAEL GREEK ORTHODOX CHURCH

Holy Spirit Monday
June 1, 2026

Dear Faithful and Friends of Archangel Michael Church,

It is with great joy that our community will be celebrating our 30 year anniversary in August of 2027! Over the years we have seen numerous changes in our parish including many new faithful families. Every Sunday we have attendance to capacity along with many young children.

We can certainly see the hand of our merciful Lord has been and is upon our community. We have been inspired by the love of the Lord to make sacrificial offerings throughout the years. When called upon for whatever the task or need, our faithful have always responded positively to the challenge.

As has been announced, our parish purchased a building with a large property for our continued growth. Our Building Committee has been working very diligently with our architects to convert the new property into a beautiful worship space and fellowship hall. The potential to build a traditional Byzantine temple is in our Master Plan as outlined in the packet attached.

Once again, our Lord Jesus Christ is calling upon each of us to participate in this worthy project, to His glory. The Capital Campaign was established at the inaugural dinner, on September 12, 2015 at the Antlers Hilton downtown. At that time, we didn't have any prospective locations, renderings or plans, but a vision and desire to find a new home to provide ample space to worship, have fellowship and for the Greek Festival. That evening, \$152,000 was pledged!

It is with humble hearts and faith in our Lord; we are called to again rise up and meet the needs of our blossoming community. I ask you to kindly review the Master Plan and see the hard work our committee has invested their time, talent and treasure. Along with seeing the vision that is being laid out, also consider prayerfully, to make a financial commitment to make this vision a true reality.

In the Lord,

Fr. Dennis J. Schutte
Proistamenos

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Background & Master Planning Process

For nearly thirty years, Archangel Michael has gathered in spaces meant for other purposes — a consignment store, a borrowed Catholic chapel, a small building on Galley Road, and finally the modest Protestant church on Paseo Road. Through every move, the parish grew. Today we are 65 stewards, with about 90 attendees most Sundays and 130 at Pascha — and we are out of room.

In December 2025, the parish voted 24 to 1 to move forward on the property at 4925 List Drive. In April 2026, His Eminence Metropolitan Constantine of Denver granted his written blessing. The parish closed on the property on May 1, 2026, and now owns 2.58 acres and a 7,500-square-foot building centrally located in Colorado Springs, with mature landscaping, parking, and ample space for outdoor festivals.

This Master Plan has been reviewed and approved by the Building Committee, the Parish Priest, and the Parish Council. As a living document, it is shared publicly to ensure transparency and will be updated by the Building Committee as the project evolves. All future revisions will follow the same rigorous approval process to ensure continued alignment with our parish vision.

What Your Gift Does Today

Your contribution is more than a building fund donation; it is an investment in the spiritual future of our parish. Your gift today:

- **Secures Our Sanctuary:** Moves us from an overcrowded space into a facility three times larger, ensuring every seeker has a seat and every family has a place.
- **Invests in Our Children:** Provides dedicated classrooms, a safe playground, and a kitchen for parish life, nurturing the next generation of Orthodox Christians.
- **Paves the Way for the Temple:** Makes Phase 1 the essential step toward building our traditional, dome-topped Orthodox temple.

The property is ours. The blessing has been given. Now the work belongs to us. Your gift turns this blueprint into reality.

*Consider now, for the LORD has chosen you to build a house for the sanctuary;
be strong, and do it.*

1 Chronicles 28:10

*So let each one give as he purposes in his heart, not grudgingly or of necessity;
for God loves a cheerful giver.*

2 Corinthians 9:7



Scope

What is included in this plan.

- **Phase 1 hall conversion.** Complete renovation of the existing 7,500 sf building into a dual-use space for Orthodox worship, fellowship, classrooms, parish meals, and festival production.
- **Essential building infrastructure.** Mechanical, electrical, plumbing, restrooms, kitchen work, life-safety upgrades, and other construction scope needed to occupy and use the building.
- **Initial site development.** Parking-lot restriping, playground location, Greek Festival grounds, future temple location, expanded parking concept, and the other phased site-development elements shown in the architect-of-record drawings.
- **Ecclesiastical identity.** A cross-topped portico and simple temporary iconostasis for the chapel period, establishing the building's Orthodox presence while the permanent temple remains a future phase.
- **Phase 1 costs and schedule.** Section-level construction costs, project schedule, and line-item cost detail in Appendix A.3.

Future and administrative items not included.

- **Parish finances.** The church's current financial position and fundraising progress will be covered separately by the Treasurer.
- **Phase 2 execution.** This plan shows the planned location and general vision for the future temple, but detailed Phase 2 design, engineering, permitting, and construction costs will follow in a later campaign.
- **Permanent liturgical furniture and iconography.** Final selections for permanent liturgical furniture and the full iconographic program will be made as Phase 2 approaches.
- **Real estate and mortgage administration.** The sale of the Paseo Road property and Stockman's Bank mortgage administration are managed outside this Master Plan.
- **Operations after move-in.** Festival logistics, hall-rental policy, day-to-day building maintenance, utilities, and other operating decisions are outside this plan's scope.

Plan Overview

We will renovate the existing 7,500 square foot building into a multi-use worship and fellowship hall. Then, when we have raised enough money, we will build a purpose-built Orthodox church next to it.

The work happens in two primary phases: Phase 1 and Phase 2. Phase 1 is a single integrated build-out that lets the parish move from Paseo Road into the new building and use it fully for Orthodox worship, fellowship, classrooms, parish meals, bookstore, and festival production.

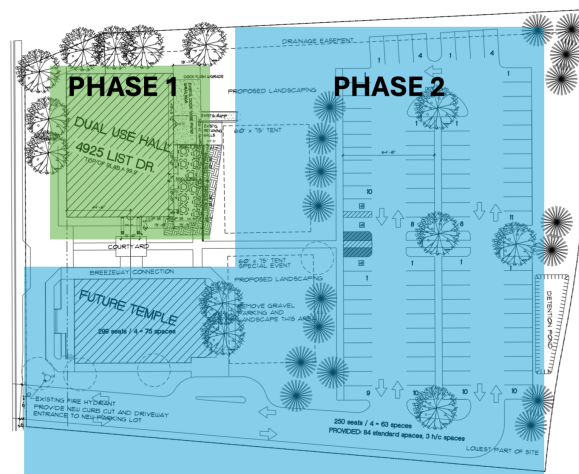
Phased Site Development Plan

We have completed the City’s pre-application development process and submitted the formal development plan on April 17, 2026. Because we are changing the use code of the site, this classifies as a major development plan. Fortunately, the City is not requiring us to do many expensive studies to complete Phase 1. We demonstrated that the site’s current parking satisfies the recently adopted Universal Development Code (UDC). This avoided an expensive new parking lot requirement. Further, we overlaid our simple Phase 1 changes on the old development plan development plan to avoid additional burdensome requirements.

Our Phase 2 goal is to build a traditional Orthodox Temple, designed according to sacred architectural tradition, as a permanent beacon of Orthodoxy in the Pikes Peak region. This future sanctuary will require engineering and structural studies before construction, and the City has confirmed that Phase 2 may include a new southern driveway based on the 1997 approved easement, improving traffic flow and safety. Until then, Phase 1 will convert the existing hall into a dignified worship space while funding is secured.

Phase 1 — existing site plan. The renovated dual-use hall sits in the existing building footprint. Parking is restriped from the existing lot. The east-side gravel area is preserved for the annual Greek Festival and as the planned location of the future temple’s parking-lot detention pond. The future temple is shown as a footprint placeholder for context.

Phase 2 — future site plan. The dual-use hall continues in service as the dedicated parish hall, the new Orthodox temple is built to its south, and a breezeway through a small courtyard connects the two. A new parking lot to the east provides sufficient space for our planned 299-person capacity. A drainage easement and detention pond bound the new lot to the north and east. The existing fire hydrant relocates and a new curb cut and driveway serve the new lot entrance.



The full architect’s site plans for each phase — *Existing Site Plan (Phase 1)* and *Future Site Plan (Final Phase)* — are reproduced at scale in **Appendix A.4**.

Phased Building Construction Plan

Phase 1

When Phase 1 is complete, the parish will benefit from:

- **A worship space three times the size of Paseo Road** — accommodating our parish growth.
- **Three classrooms and a vestry** for Sunday School, adult catechism, choir rehearsal, and parish meetings — rooms we have never had in our own building.
- **A larger festival space** with the goal of attracting more attendees.
- **A larger kitchen** sized for festival production and parish dinners.
- **A playground** so families can stay on-site after Liturgy and during festival days.
- **An entrance tower** at the south entry, topped by a cross — marking the building as ours from the street.
- **A site that supports the future** — circulation, parking, and grounds laid out so the future temple can rise next to the hall without disrupting parish operations.

Note on the renderings — one feature that looks Phase 1 but is not:

- The **arcade / colonnade** across the front (south and west faces) of the hall in some renderings is **Phase 2 work** — we need those parking spaces until the new lot is built in Phase 2.



Phase 1 hall exterior, grounds, worship, and parish-meal configurations.

**Phase 1 — Renovate the building into a dual-use worship and fellowship hall.**

Goal: obtain the certificate of occupancy from the City, move the parish out of Paseo Road, and exceed the functionality of our current church for worship, Greek Festival, dinners, bookstore, classrooms, and parish life.

Phase 1 develops a simple iconostasis and altar similar to our Paseo configuration; installs a new stucco exterior, new chairs replacing our pews, new windows and doors, full restrooms with a baby-changing station, three classrooms plus a vestry, narthex, mezzanine for mechanical, and the restriped parking lot; and makes the east-side gravel area the new home of the Greek Festival. It also completes the kitchen (sink, dishwasher, oven, tables, refrigerator — some equipment reused from Paseo Road), adds the cross-topped portico at the existing south entry, installs moveable interior walls so the hall can be reconfigured quickly, adds bookstore shelving, repairs the damaged sewer-line location identified during inspection, and completes the remaining finish-out. The finished building can be configured for Divine Liturgy on Sunday and for coffee hour or a fellowship meal immediately after.

Phase 2

When the parish is ready for the next campaign, Phase 2 builds the Orthodox temple we have been waiting almost thirty years for: a purpose-built church immediately south of the hall, with a cruciform plan, narthex, nave, sanctuary with iconostasis, central dome on a windowed drum, entrance tower, and full iconographic program.

The hall remains in use throughout Phase 2 construction, so parish life is not interrupted. Once the new temple opens, the Phase 1 building shifts from dual-use worship-and-fellowship space to a dedicated parish hall with **minimal modification** — a furniture-and-finishes change, not a second renovation. Two appendix floor plans show both configurations side by side.

Early interior studies for the future temple. The design is preliminary and will be completed in consultation with the Metropolis when Phase 2 begins. As of June 2026, we estimate a phase 2 cost of \$3-4M. The construction drawings for Phase 2 are not complete and are required for accurate pricing.



Early interior studies — future temple (Phase 2, design preliminary).



Future temple exterior studies from the southwest, northwest, northeast, and southeast.



Phase 1 Construction Details

Phase 1 Construction Costs

Note: One quote included a \$103,560 site work line item that is excluded from this analysis because it is not required under current city requirements.

We shared the detailed designs with three contractors. After receiving initial quotes, we requested refinements and clarifications from two of them. The third contractor was not re-engaged because their quote was nearly double the other two.

There remains a meaningful difference between the two refined construction budgets, including HVAC at \$110,000 versus \$216,000, the entry tower at \$36,000 versus \$55,000, stucco at \$83,000 versus \$116,000, and total construction cost at approximately \$1.21 million versus \$1.35 million.

MEP and structural engineering work is still required before final cost estimates can be completed and used as the basis for a construction contract.

These figures are contractor construction budgets only, not final all-in project costs. Final costs will depend on contractor selection, permit requirements, final material selections, and any donated or owner-provided materials. Both contractors have indicated a willingness to work with the parish on donated materials if they can be secured.

The detailed contractor quote pages are excluded from this public version. The construction-cost summary above remains for planning context.



Phase 1 Construction Schedule

Before we can get started, the City has to approve the work, the parish has to raise the rest of the money, and the contractor has to build. The best-achievable scenario lines them up so construction starts no earlier than **September 2026** and the parish is on-site early in 2027.

Assumptions

Approvals. The Major Modification application was submitted to the City of Colorado Springs in April 2026 (file DEPN-26-0057, on the simplest plan possible — no changes to landscaping, grading, or the parking lots). City approval typically takes **3 to 4 months**, putting Major Mod approval in July or August 2026. The building permit is a separate process that follows the development plan and typically takes about **6 weeks** once filed; this is subject to our architect's availability and a September building permit issue is possible.

Construction. With permits in hand and the construction funding threshold met, construction is planned for approximately **5 months end-to-end**, assuming the contractor can work uninterrupted. A September start puts substantial completion at the end of **January / early February 2027** and the first Divine Liturgy on-site shortly after final inspections.

Notional (Best Case) Construction Schedule

Milestone	Target
Major Modification submitted (DEPN-26-0057)	April 2026
Closing on 4925 List Drive	May 1, 2026
General Assembly authorization of master plan and campaign	May / June 2026
Major Modification approved	July / August 2026
Building permit issued	September 2026
Construction-start threshold met (cash)	September 2026
Construction begins	September 2026
Substantial completion (≈5 months uninterrupted)	January / February 2027
Certificate of Occupancy and first Divine Liturgy on site	February / March 2027

These dates compound: a slip in any one row pushes the rest. The single largest variable is fundraising — once cash clears the threshold, the rest of the schedule is in the hands of the City and the contractor. Hitting the September construction start requires the campaign to launch immediately after General Assembly authorization and the parish to clear the threshold by late summer.



Appendix A — Supporting Documents

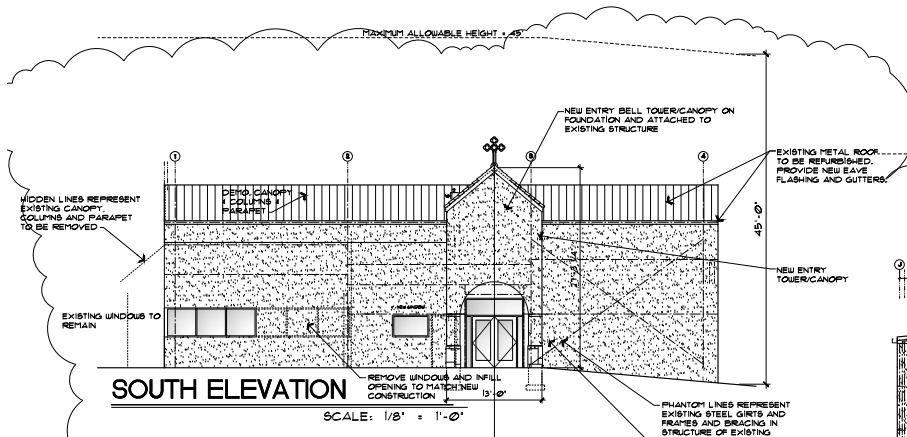
The appendix has three parts:

A.1 — Major Modification submission. The as-filed Major Modification sheets submitted to the City of Colorado Springs (file **DEPN-26-0057**, against original Development Plan AR DPA 96-00578 from January 1997), submitted **April 17, 2026**. Sheets include site / landscape, floor plan with parking calculations, and remodeled exterior elevations.

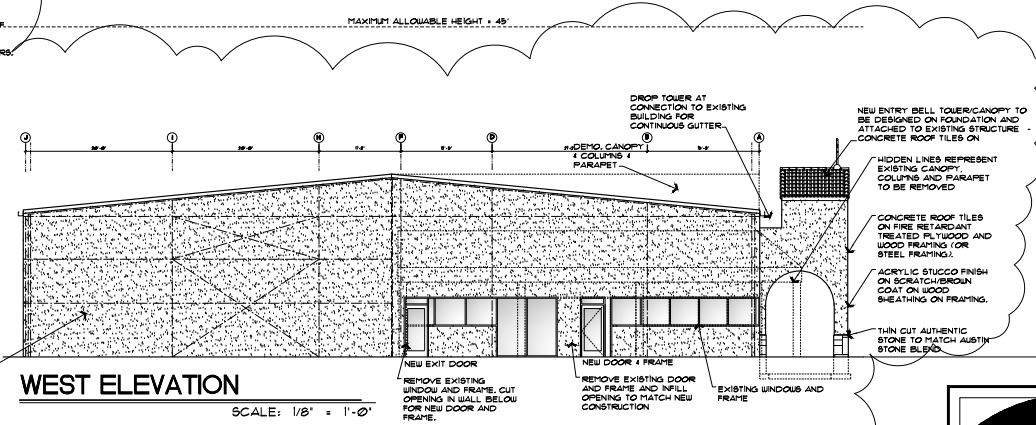
A.2 — Scheme R interior floor plans. The latest interior floor plans developed by the design team for the Phase 1 hall conversion, in three configurations — dual-use (day-to-day), Pascha (peak attendance), and parish-hall (post-Phase 2). Detail follows in A.2.

A.3 — Phased site development plans. The architect's site plans for the property at each phase. The *Existing Site Plan (Phase 1)* shows the renovated dual-use hall in the existing footprint with the parking lot restriped to 35 spaces and the future temple and parking-lot detention pond shown as planned-location placeholders. The *Future Site Plan (Final Phase)* shows the new Orthodox temple connected to the hall by a breezeway through a small courtyard, the new 84-space parking lot to the east, the relocated fire hydrant, the new curb cut and driveway, and the drainage easement and detention pond.

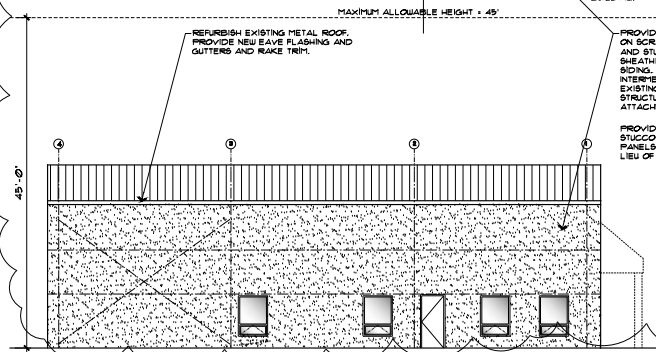
CITY FILE NUMBER	CHANGES TO PLAN	APPROVAL DATE
AR DPA 96-00578	ORIGINAL DEVELOPMENT PLAN	JAN 1997
DEPN-26-0057	MAJOR AMENDMENT FOR CHANGE OF USE - WAREHOUSE TO CHURCH (B/S-3 OCCUPANCY TO A-3). ADJUST PARKING CALCULATIONS, ADJUST EXISTING LANDSCAPING TO REFLECT INSTALLED LOCATIONS AND SIZES AND QUANTITY. ADJUST PLAN TO REFLECT AS-BUILT CONDITIONS, RESTORE REAR HALF OF LOT TO NATIVE GRASSES. ADD THIRD SHEET TO DEVELOPMENT PLAN OF REMODELED EXTERIOR ELEVATIONS.	



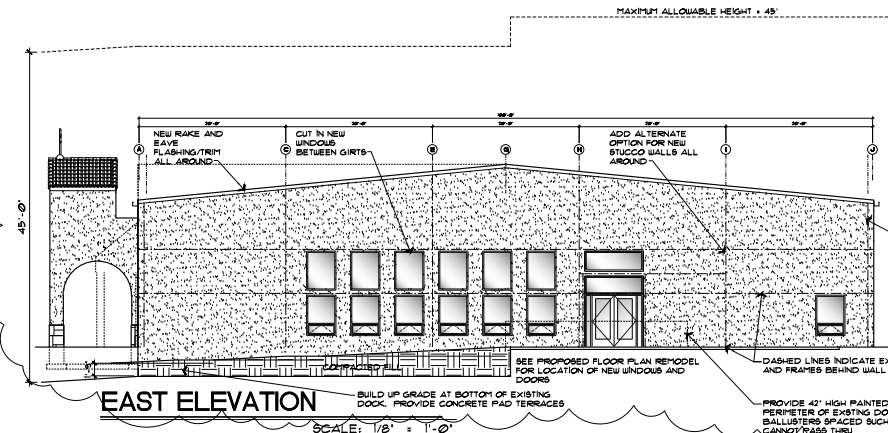
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



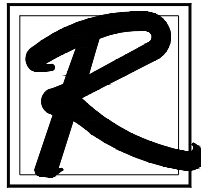
WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



RUNGE ARCHITECTURE

CHARLES W. RUNGE JR., ARCHITECT
335 SERRANO CT.
COLORADO SPRINGS, CO 80909
PHONE (719) 260-0038
email: chuckrunge@comcast.net

INTERIOR AND EXTERIOR
REMODEL OF
ARCHANGEL MICHAEL
ORTHODOX CHURCH

4925 LIST DRIVE
COLORADO SPRINGS, CO

REVISIONS

JOB NO.	2601
DATE	4/21/2026
REVISED	
SHEET NO.	A1 3 OF 3

MAJOR MODIFICATION
4/21/2026
AR DP 96-578
DEPN-26-0057

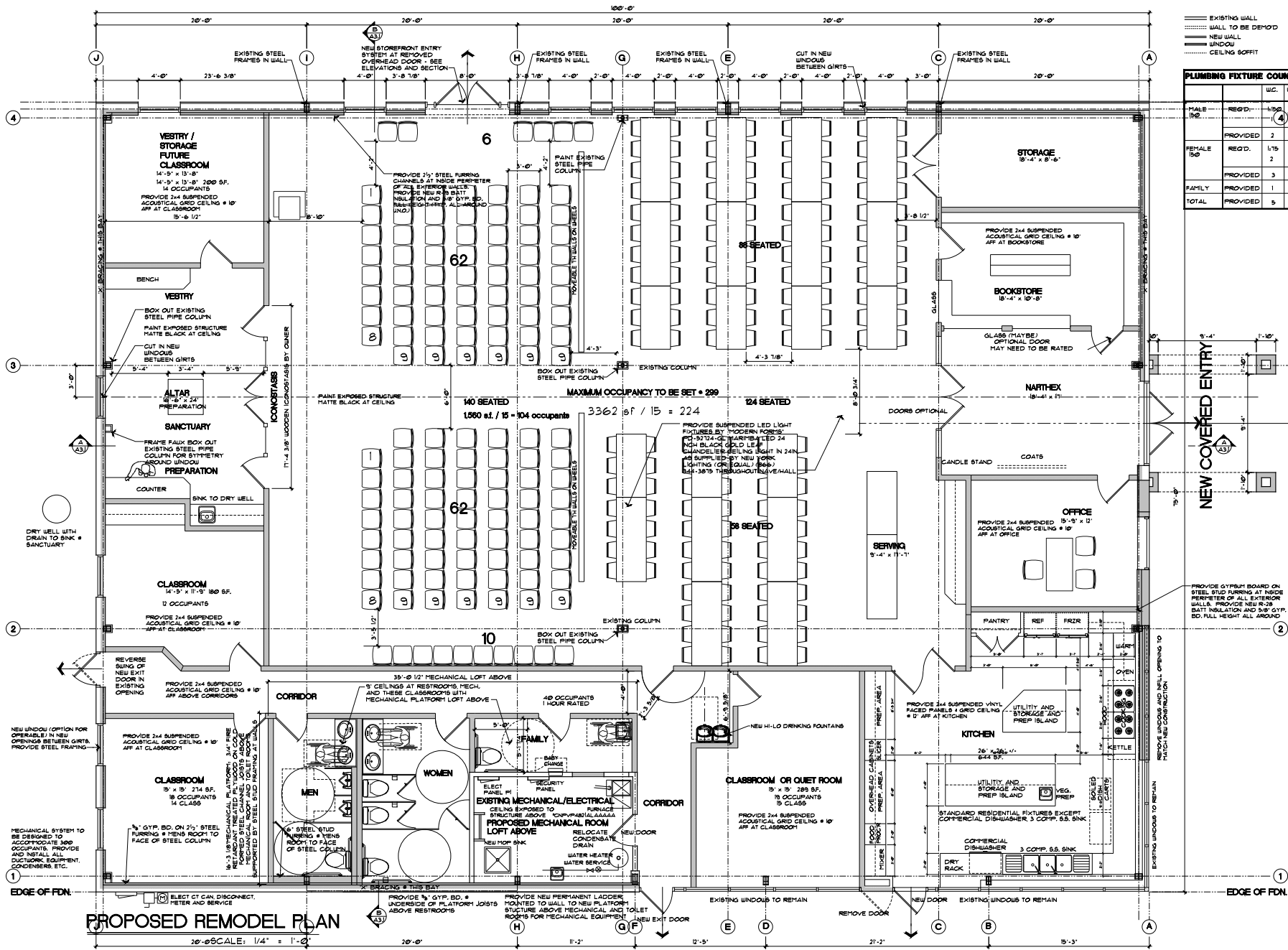


A.2 — Scheme R interior floor plans

The Phase 1 building has been carefully designed so that the **same room layout** serves the parish in three configurations, with **minimal modification** required to move from one to the next.

- **Dual-use configuration** — the day-to-day Phase 1 setup, when this building is both our worship space and our fellowship hall. The east end is set up as a temporary chapel (screened altar, chairs facing east); the west end is set up for fellowship dining.
- **Pascha configuration** — for the major feasts when attendance peaks. The dining-side furniture moves out and the entire floor is set up as worship space, expanding nave seating across the full hall for the biggest services of the year.
- **Parish-hall configuration** — used after Phase 2, when the new Orthodox temple is built next door and this building becomes a dedicated parish hall. The screened altar area, classrooms, kitchen, restrooms, narthex doors, and bookstore all stay where they are; only the worship-side seating is removed and the room reflows for events and dinners.

The transition between the three configurations does **not** require structural changes, mechanical / electrical / plumbing (MEP) rework, or new permits — by design, these are furniture-and-finishes changes, not renovations. That foresight saves the parish a second build-out when Phase 2 is complete.



- EXISTING WALL
- WALL TO BE DEMO
- NEW WALL
- WINDOW
- CEILING SOFFIT

PLUMBING FIXTURE COUNT IBC TABLE 2902.1

		WC.	URINALS	LAVS	DRINK. FTBNS.	HOP. SINK
MALE 1/2	REQ'D.	1.50	50% OF 4	1.000	1.000	1 REQ'D.
	PROVIDED	2	2	2	1	1
FEMALE 5/8	REQ'D.	1.75	-	1.000	1.000	1 REQ'D.
	PROVIDED	3	2	2	1	1
FAMILY	PROVIDED	1	1	-	-	-
	TOTAL PROVIDED	5	4	23	2	1



RUNGE ARCHITECTURE

CHARLES W. RUNGE, JR., ARCHITECT
 595 GERMANTOWN CT.
 COLORADO SPRINGS, CO 80909
 PHONE (719) 260-0039
 email: chuckrunge@comcast.net

INTERIOR AND EXTERIOR
 REMODEL OF
 ARCHANGEL MICHAEL
 ORTHODOX CHURCH

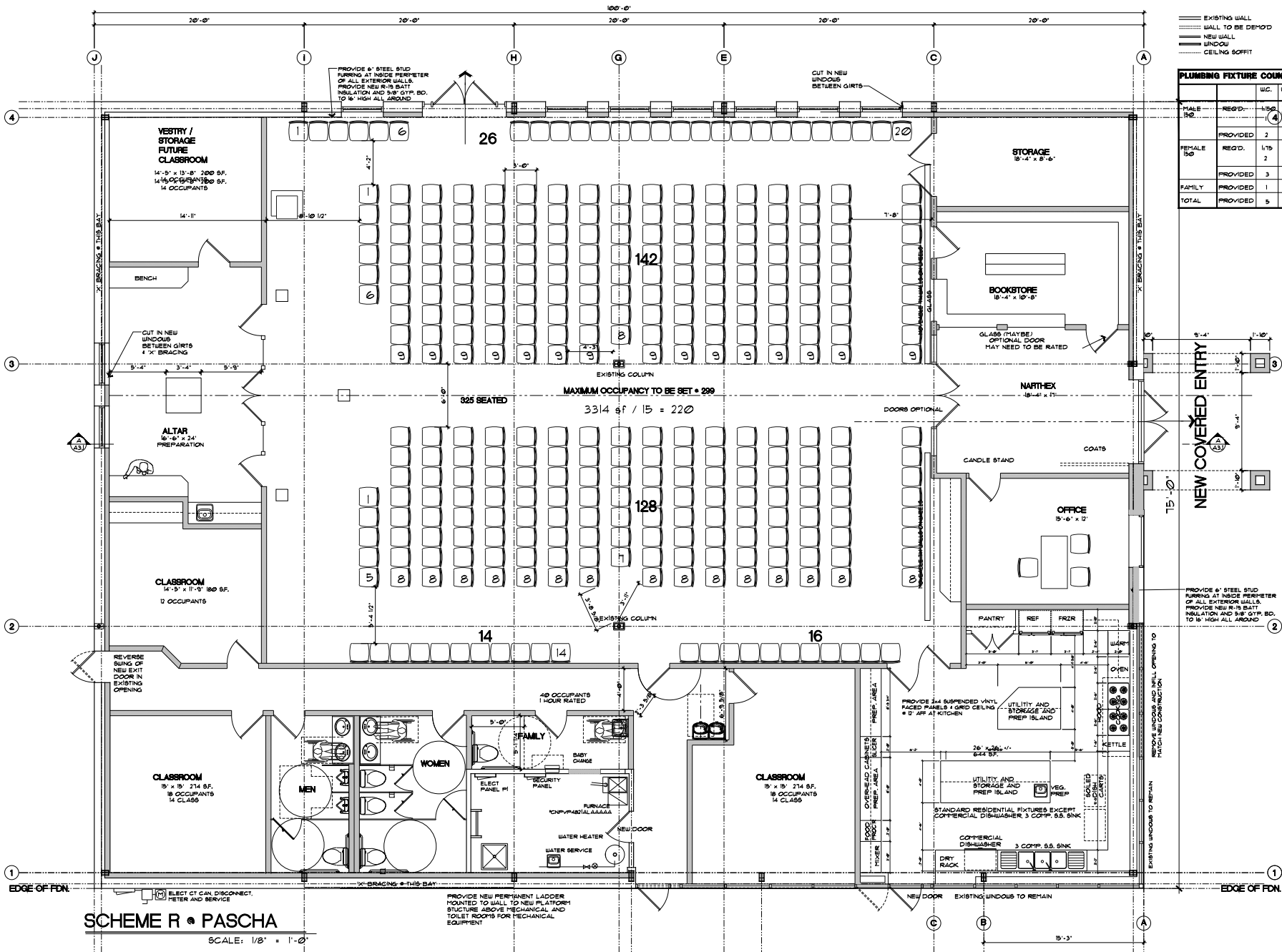
 4925 LIST DRIVE
 COLORADO SPRINGS, CO

REVISIONS

JOB NO. 2801
 DATE 4/2/26
 REVISION:
 SHEET NO. ALL

PROPOSED REMODEL PLAN

SCALE: 1/4" = 1'-0"



——— EXISTING WALL
 - - - - - WALL TO BE DEMO
 ——— NEW WALL
 ——— WINDOW
 ——— CEILING SOFFIT

PLUMBING FIXTURE COUNT IBC TABLE 2902.1

		U.C.	URINALS	LAVS	DRINK FOUNT.	TOP SINK
MALE	REQ'D.	1,150	50% OF U.C.	1,000	1,000	1 REQ'D.
	PROVIDED	2	2	2	1	1
FEMALE	REQ'D.	1,175	-	1,000	1,000	1 REQ'D.
	PROVIDED	3	2	2	1	1
FAMILY	REQ'D.	1	-	-	-	-
	PROVIDED	1	-	-	-	-
TOTAL	PROVIDED	5	4	23	2	1



RUNGE ARCHITECTURE

CHARLES W. RUNGE, JR., ARCHITECT
 595 GERRARD CT.
 COLORADO SPRINGS, CO 80909
 PHONE: (719) 260-0039
 email: chuckrunge@comcast.net

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**ARCHANGEL MICHAEL
 ORTHODOX CHURCH**

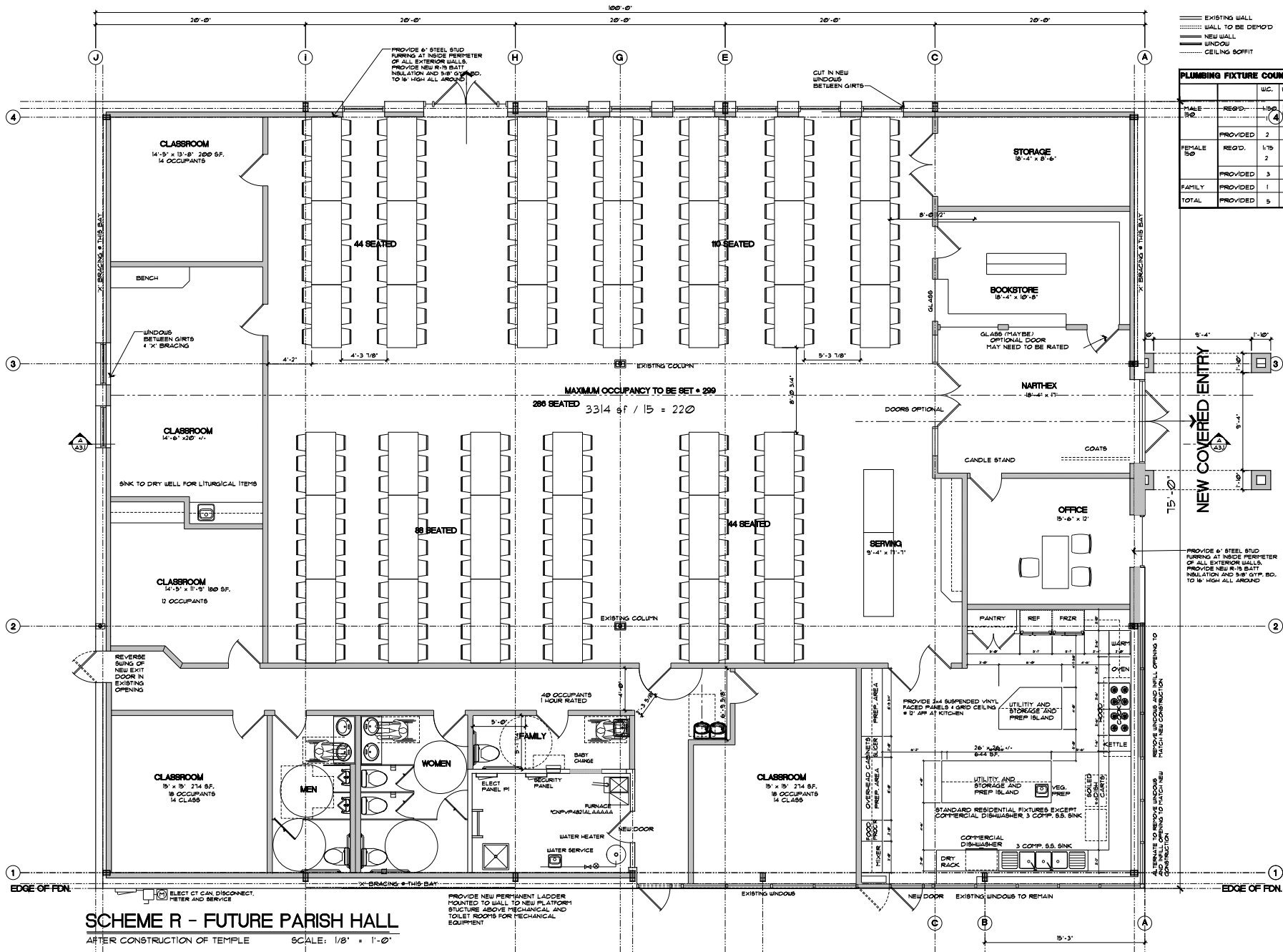
 4925 LIST DRIVE
 COLORADO SPRINGS, CO

REVISIONS

JOB NO. 2801
 DATE 4/21/26
 REVISIONS
 SHEET NO. ALL

SCHEME R • PASCHA

SCALE: 1/8" = 1'-0"



——— EXISTING WALL
 - - - - - WALL TO BE DEMO'D
 ——— NEW WALL
 ——— WINDOW
 ——— CEILING SOFFIT

PLUMBING FIXTURE COUNT IBC TABLE 2902.1

		U.C.	URINALS	LAVS	DRINK FTB.	TOP SINK
MALE 50	REQ'D.	1/15	50% OF U.C.	1	1000	1
	PROVIDED	2	2	2	1	1
FEMALE 50	REQ'D.	1/15	-	1000	1000	1
	PROVIDED	3	2	2	1	1
FAMILY	REQ'D.	1	-	1	-	-
	PROVIDED	1	-	1	-	-
TOTAL	PROVIDED	5	4	23	2	1



RUNGE ARCHITECTURE

CHARLES W. RUNGE, JR., ARCHITECT
 505 GERMINE CT.
 COLORADO SPRINGS, CO 80909
 PHONE (719) 260-0039
 email: chuckrunge@comcast.net

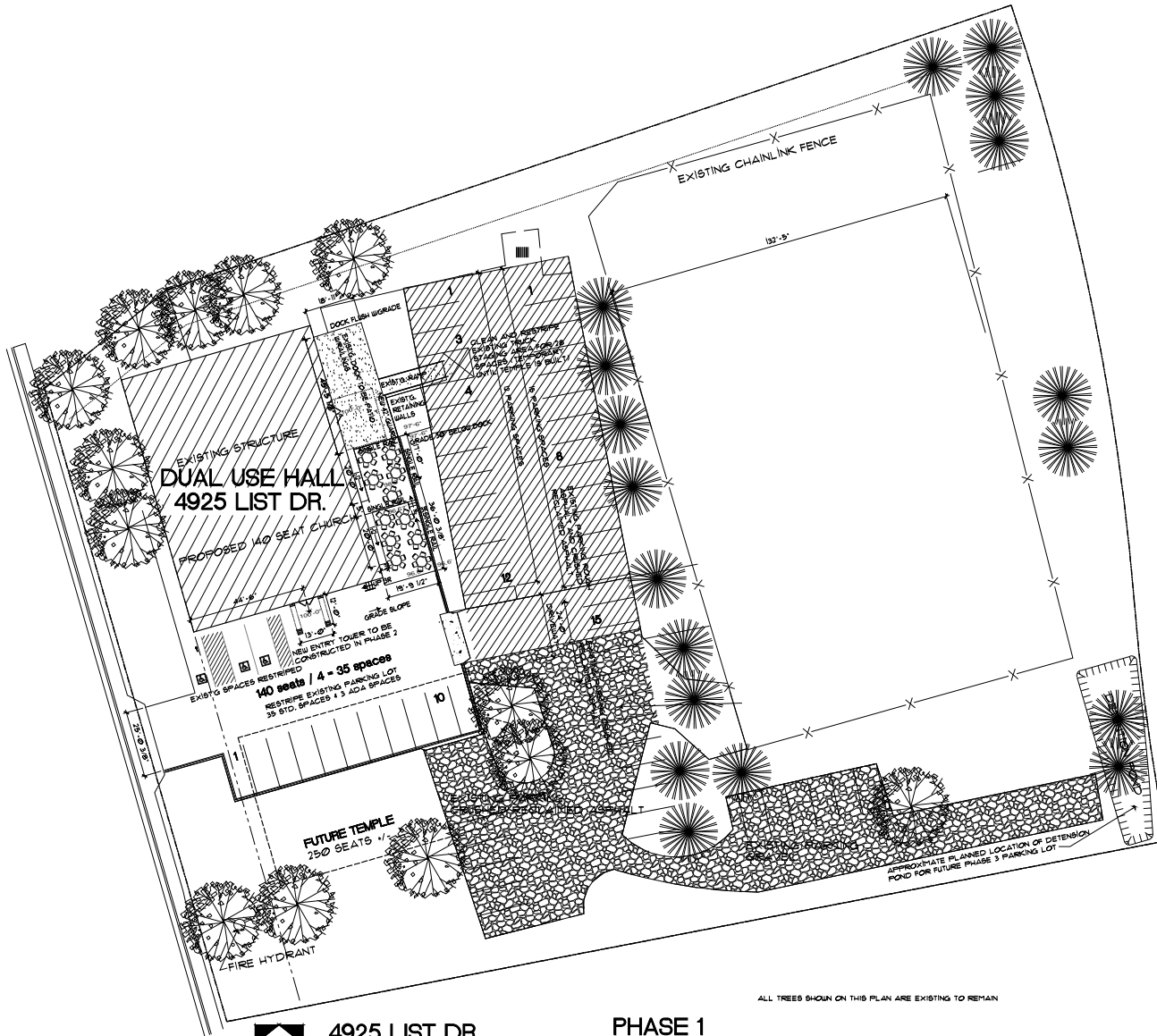
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 ARCHANGEL MICHAEL
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 4925 LIST DRIVE
 COLORADO SPRINGS, CO

REVISIONS

JOB NO. 2801
 DATE 4/2/26
 REVISIONS
 SHEET NO. A11

SCHEME R - FUTURE PARISH HALL
 AFTER CONSTRUCTION OF TEMPLE SCALE: 1/8" = 1'-0"



ALL TREES SHOWN ON THIS PLAN ARE EXISTING TO REMAIN

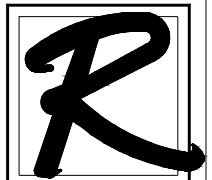
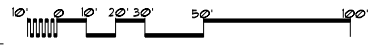


NORTH

4925 LIST DR.
EXISTING SITE PLAN

SCALE: 1" = 20'-0"

PHASE 1



RUNGE ARCHITECTURE

CHARLES W. RUNGE, JR., ARCHITECT
2885 GERMANE CT.
COLORADO SPRINGS, CO 80909
PHONE: (719) 260-0039
email: chuckrunge@comcast.net

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REVISIONS

JOB NO. 2801
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SHEET NO. SP11

